

Division 1 - Rural Residential



Sec. 16.6.10.1. - Intent.

- (a) The intent of the rural residential land use category is to provide low-density, single-family residential development within the Town's outer fringe. The current land is predominantly rural and agricultural, with some existing residential subdivision developments that are consistent with the future vision of the Comprehensive Plan. These areas may have centralized water but are not served by central sewer. Typically, the existing roadway network is limited to rural roads spaced in one (1)-mile intervals that correspond to section lines. Rural residential development in this Planning area is intended to be large-lot residential subdivisions with a predetermined number of acres per lot combined with the limitations of infrastructure that may be accessible or obtainable. The Rural Residential Zoning includes two sub-zoning categories as outlined below. Further detail on these sub-zonings is outlined in Section 16.6.10.15.
- (b) Rural residential agricultural may be within or outside the rural residential area. Agricultural (Ag) residential development is intended to be large-lot residential subdivisions with an agricultural component that is either associated with each lot or a select number of lots or is a stand-alone agricultural parcel. As with rural residential development, Ag residential is limited by the accessibility or obtainability of infrastructure. However, the number of acres per lot is relative to the agricultural land use component rather than a predetermined quantity of acres per lot. (See Ag Residential Design Option.)

- (c) Rural residential conservation may be within the rural residential area. Conservation residential development focuses on large percentages of dedicated open space, agricultural or conservation easement land area that complements a subdivision of rural subdivision lots. The breakdown of densities, open space and design requirements is further described in Section 16.6.10.16.

(Ord. 2021-08)

Sec. 16.6.10.2. - Density.

- (a) Gross acreage: two and one-half (2.5) acres per dwelling unit (i.e., 50 acres / 2.5 = 20 lots)
- (b) Encourage diversity and flexibility of lot sizes.
- (c) Minimum lot size: one and one-quarter (1.25) acres due to septic limitations
- (d) Density can be higher if open space and/or remaining land is managed.
- (e) Final lot count may be limited by infrastructure or geographic constraints.

(Ord. 2021-08)

Sec. 16.6.10.3. – Land Uses

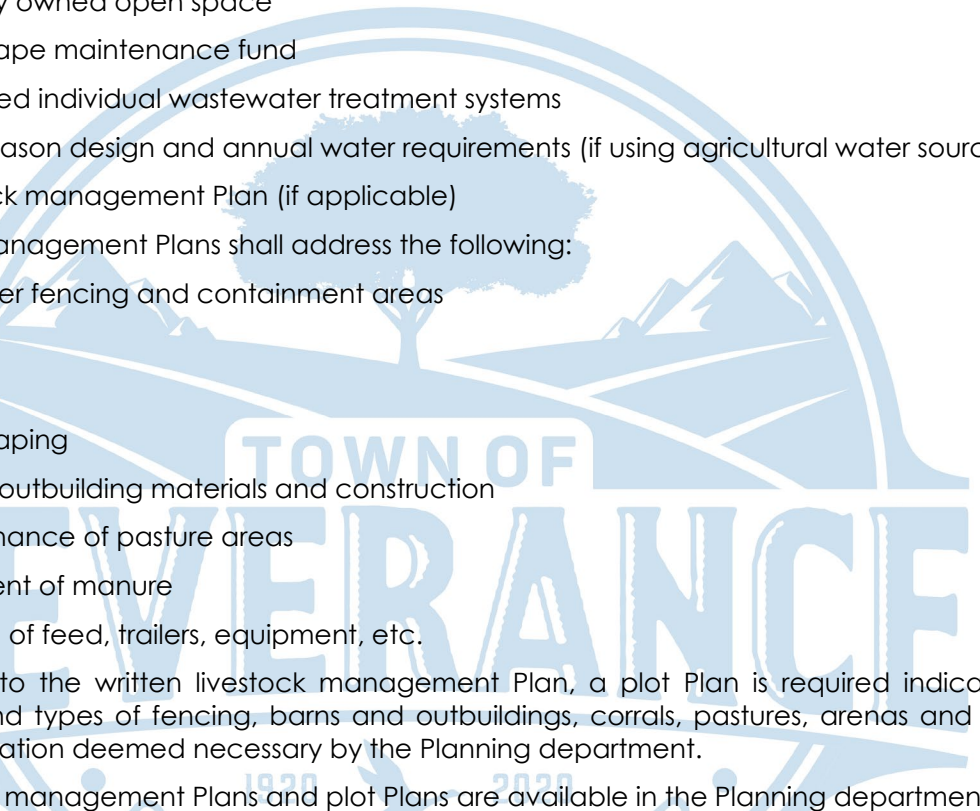
- (a) Uses by right:
 - (1) Single-family residential
 - (2) Accessory dwelling
 - (3) Home-based business (Type I)
 - (4) Parks
 - (5) Schools
- (b) Encouraged Uses:
 - (1) Home-based business (Type II)
 - (2) Agriculture - commercial (Type II)
 - (3) Golf courses
 - (4) Churches
 - (5) Outdoor recreation
 - (6) Agriculture - hobby (Type I) noncommercial, focused (management Plan template)
- (c) Uses requiring additional review

Note: Land uses not identified may be considered with additional review to be determined by Planning Staff at pre-application meeting. See Section 16.3.4 of this chapter.

(Ord. 2021-08)

Sec. 16.6.10.5. - Management Plans.

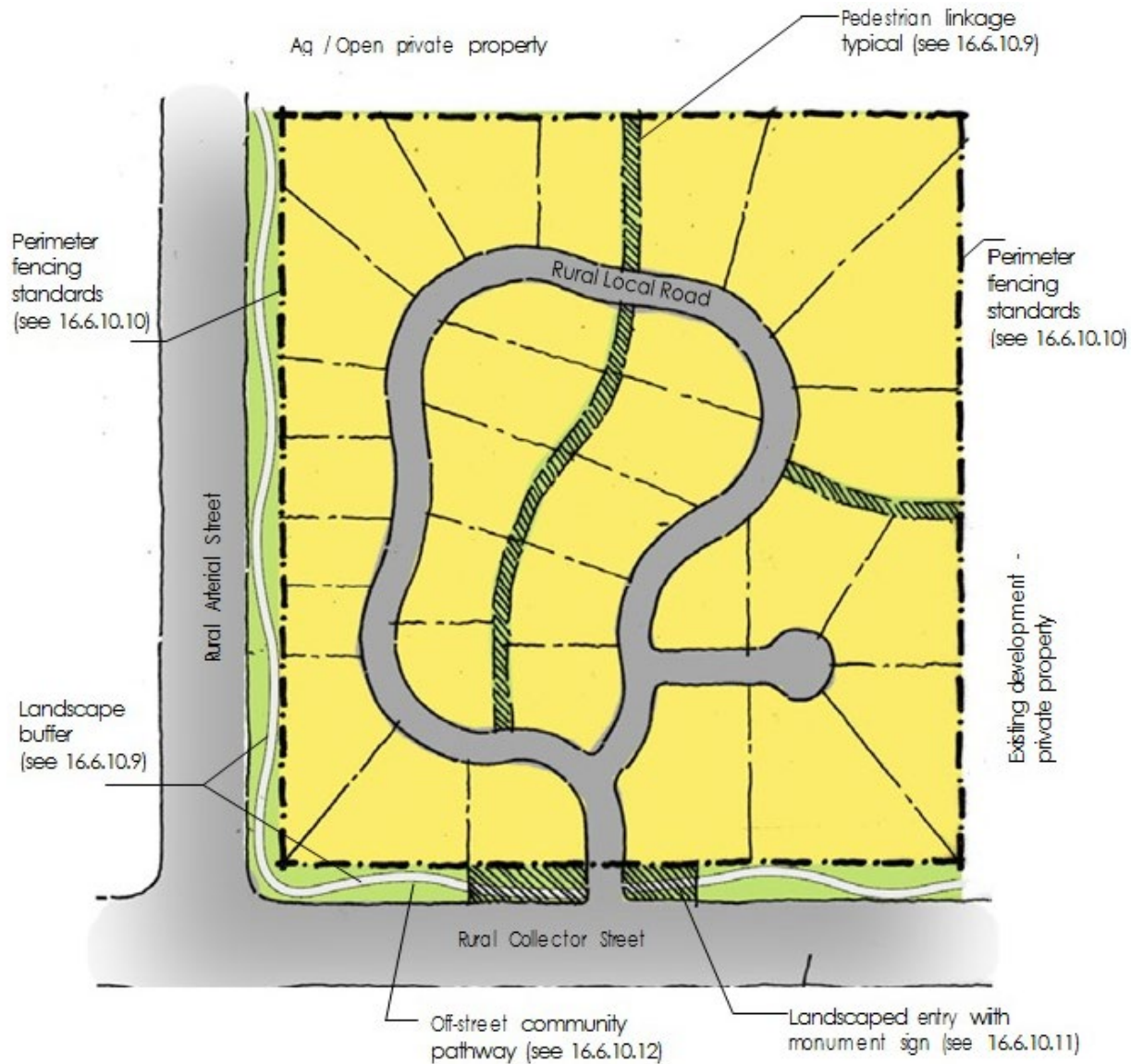
- (a) Each project in the rural residential district shall have a management Plan addressing the following:

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- (1) HOA protective covenants for architectural control
- (2) Fencing
- (3) Irrigation system, including sources of water
- (4) Stormwater facilities
- (5) Roads
- (6) Trails
- (7) Common areas
- (8) Privately owned open space
- (9) Landscape maintenance fund
- (10) Managed individual wastewater treatment systems
- (11) Peak season design and annual water requirements (if using agricultural water source)
- (12) Livestock management Plan (if applicable)
- (b) Livestock management Plans shall address the following:
- (1) Perimeter fencing and containment areas
- (2) Gates
- (3) Lighting
- (4) Landscaping
- (5) Barn or outbuilding materials and construction
- (6) Maintenance of pasture areas
- (7) Treatment of manure
- (8) Storage of feed, trailers, equipment, etc.
- (c) In addition to the written livestock management Plan, a plot Plan is required indicating locations and types of fencing, barns and outbuildings, corrals, pastures, arenas and any other information deemed necessary by the Planning department.
- (d) Examples of management Plans and plot Plans are available in the Planning department.

(Ord. 2021-08)

Sec. 16.6.10.6. - Standards.

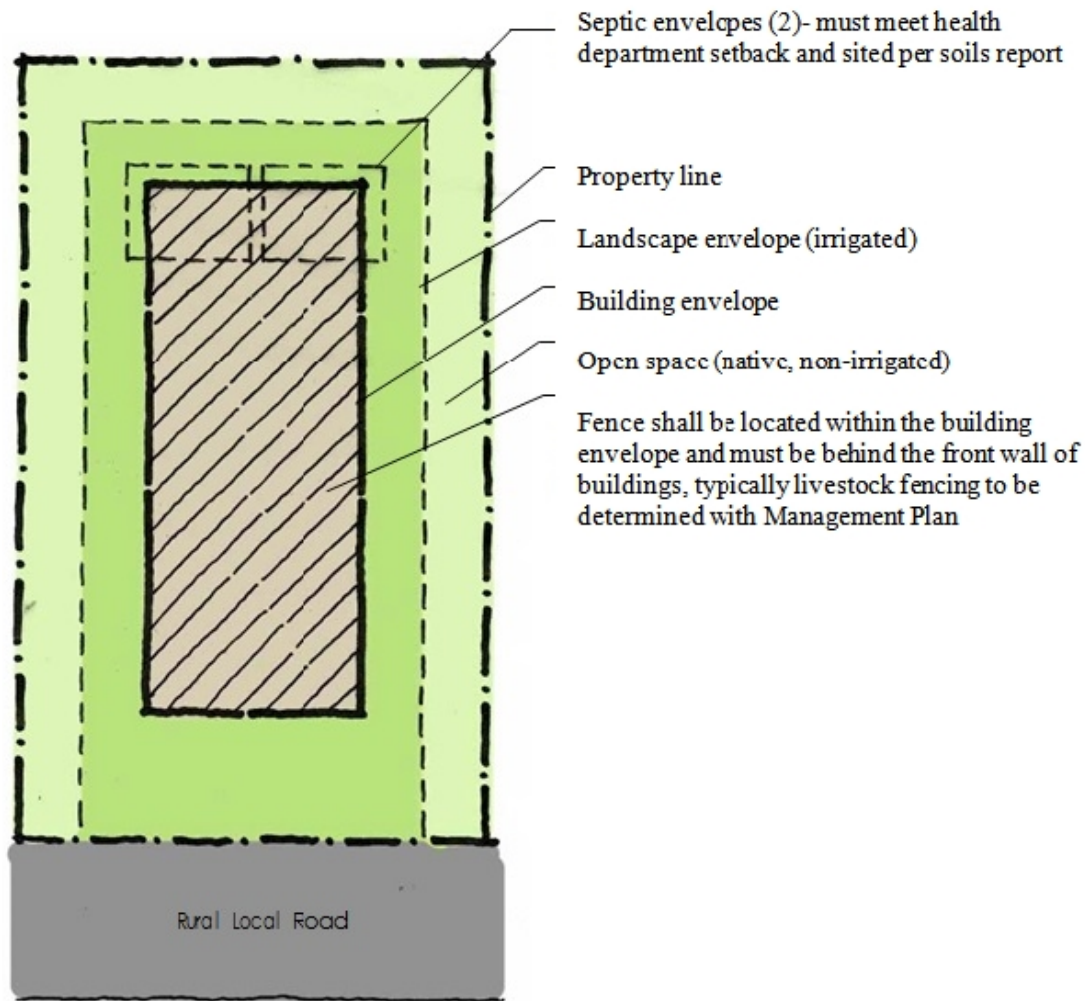
- (a) Typical subdivision layout. Subdivisions in the rural residential area shall be designed with an internal rural roadway system to serve lots within the subdivision. Each lot shall have frontage onto a roadway. The perimeters adjacent to major roadways shall be landscaped and shall provide pathways for pedestrian linkages. Fencing shall be open and visually interesting along the perimeter street frontage. The main entrance to the subdivision will typically have a monument sign and landscaping. Open space and drainage corridors within the subdivision will provide opportunities for pedestrian linkage to adjacent subdivisions. Each subdivision proposal should reflect the Comprehensive Plan.



- (b) Typical single-family lot layout. The vision for a typical single-family lot is to create a buildable area and identify septic envelopes and open/landscape areas. Just outside of the building envelope is a landscape envelope, intended to be Planted with irrigated turf and Plantings. The area between the landscape envelope and the property line consists of native, non-irrigated landscaping in order to create a feeling of openness and uniformity between lots. Fencing shall be reviewed and approved by the HOA/Metro District and the Town.
- (c) For previously approved subdivisions within the boundaries of the rural residential land use zone that are not governed by building envelopes, the minimum setback shall be as follows:

	Principal Residence	Accessory Building
Front setback	25'	25'

Side setback	7.5'	5'
Rear setback	30'	5'



Notes:

1. Building and landscape envelopes are intended to be conceptual and may vary. Envelopes shall be established on the site Plan, approved by the Architectural Review Committee (ARC) and submitted with the initial building permit application for each lot. Modification to any approved building envelope shall require HOA and Town Planning Department approvals.
2. Minimum side and rear setback to any improvement, including irrigated turf, shall be twenty-five (25) feet. (Trees and shrubs with drip irrigation are excluded.)

3. Final location of septic envelopes shall be identified on plot Plan; location and size shall be determined by health department and soils analysis.
4. Maximum amount of irrigated area - 25,000 square feet.
5. Ag/livestock fencing may vary per management Plan.

(Ord. 2021-08; Ord. 2013-04 §2)

Sec. 16.6.10.7. - Street standards – Severance Transportation Master Plan

(Ord. 2021-08)

Sec. 16.6.10.8. - HOA documents and architectural standards.

- (a) Review of architecture shall be by developer's covenants, design guidelines, homeowner's association or Metro District. Building permit applications must be accompanied by a letter from said entity stating architectural approval.
- (b) Covenants will be recorded with the subdivision plat.

(Ord. 2021-08)

Sec. 16.6.10.9. - Edges/landscape.

The perimeter treatment adjacent to major roadways should include a landscape buffer of varying width with a minimum width of twenty (20) feet. A developer-installed fence should be placed inside the property line within an easement on each lot or tract. The landscape should be complementary to the rural character of the surrounding area. The use of shade trees is encouraged along greenbelt community pathways.

(Ord. 2021-08)

Sec. 16.6.10.10. - Fencing.

- (a) Fencing along shall be of a rural character. The treatment should be consistent within the entire development. Fencing located along collector or arterial roads shall be open rail/open character, wood and set back from the right-of-way a minimum of twenty (20) feet. Fencing shall be made visually interesting and shall avoid creating a "tunnel" effect. Style of fencing for neighborhood should strive for consistency with surroundings and intended design. Compliance with this standard may be accomplished by integrating architectural elements such as brick or stone columns and incorporating articulation or openings into the design. Varying the alignment or setback of the fence and softening the appearance of fence lines with Plantings or similar techniques is also encouraged. Privacy fences should not be used. For agriculture uses, T-post fences, wire fences and electric fences are allowed as per the management Plan.
- (b) Perimeters not associated with major roadways shall be fenced by the developer with T-post and wire fencing or better. Internal common areas, including pedestrian connectivity pathways and drainage conveyance channels, shall be fenced by the developer using materials consistent with the development. Management and maintenance of all fencing shall be addressed in the developer's management Plan.



(Ord. 2021-08)

Sec. 16.6.10.11. - Entries and signage.

Entry signs and entry features should be a visual and attractive focal point for the development. The type and size of signs should be appropriate for the size of the subdivision. Rural character is highly encouraged.



(Ord. 2021-08)

Sec. 16.6.10.12. - Connectivity.

Pedestrian connectivity within and adjacent to the subdivision is highly encouraged. Each development shall provide a combination of trails, sidewalks or widened streets to accomplish connectivity. Off-street pedestrian linkage can be accomplished with the use of open greenways and drainage conveyance corridors with meandering trails or paths. Refer to Typical Subdivision Layout for examples. Each subdivision must contain a twenty (20)-foot minimum perimeter landscape buffer with a minimum six (6)-foot-wide community pathway. Where a subdivision either borders or includes portions of the Great Western Trail the developer will be required to pave the trail with a minimum 10' concrete cross section for the entirety of the trail within or adjacent to the property. Sidewalks adjacent to all school sites and parks require a minimum width of five (5) feet or wider. Projects shall connect to Severance trail network whether that be through newly dedicated neighborhood trails or connections to a previously establish Severance trail network



(Ord. 2021-08)

Sec. 16.6.10.13. - Lighting.

All lighting within the Rural Residential Zoning District shall comply with the Dark Skies Ordinance Lighting Zone One (1) requirements.

(Ord. 2021-08)

Sec. 16.6.10.14. - Managed individual wastewater treatment system standards.

(a) Design. Prior to submitting for a managed individual wastewater treatment system permit with the county Department of Public Health and Environment, each owner shall submit his or her design Plans to the Town for review and approval.

- (1) All systems must be designed and installed in accordance with all applicable county individual sewage disposal system regulations and the Colorado Department of Public Health and Environment guidelines. The county Department of Public Health and Environment has final approval of all managed individual wastewater treatment system designs.
- (2) All systems must be designed to meet the minimum requirements of the development's managed individual wastewater treatment system design as described in the Town's Environmental Management Handbook.
- (3) All managed individual wastewater treatment systems shall be designed for site-specific conditions, including but not limited to maximum seasonal high groundwater, poor soils and shallow bedrock.
- (4) Once the managed individual wastewater treatment system has been approved by the Town, the permit application may be submitted to the county Department of Public Health and Environment.
- (5) Activities such as landscaping (i.e., the Planting of shrubs and trees) and construction (i.e., auxiliary structures, dirt mounds, etc.) are expressly prohibited in the designated leach field sites. These areas should be maintained through the use of grass.

(b) Inspection:

- (1) Prior to backfilling the installed managed individual wastewater treatment system and after final inspection and approval by the county, each owner shall notify the Town in writing and submit to the Town a copy of such county approval.

(Ord. 2021-08)

Sec. 16.6.10.15. - Rural Residential Agriculture Sub-zoning

The rural residential agricultural sub-zoning is intended to allow private property owners to annex existing agricultural operations into the Town and continue operations. The process for receiving the rural residential agricultural sub-zoning is the same as any other zoning request and may either come through the annexation process or a rezoning of an existing annexed property. The following are characteristics of the Ag residential design option:

- (1) Agriculture component retained
- (2) Served by domestic water
- (3) Joint access points to and from county roads to reduce driveways where practical (Existing agricultural accesses permitted in Weld County may be maintained if no further subdivision is taking place.)
- (5) No HOA required
- (6) No interior fencing required
- (7) Density:
 - a. Minimum lot size (septic): Ten (10) acres
 - b. Gross density: one (1) dwelling unit per fifteen (15) acres
- (8) Perimeter treatment:
 - a. Fencing to be addressed on fencing Plan
 - b. Road right-of-way: same as rural residential
 - c. Connectivity to adjacent subdivisions not required
 - d. Landscaping that can be native
- (9) Management Plans should address the following:
 - a. Agricultural operations
 - b. Roadway connections
 - c. Maintenance
 - d. Stormwater management report, including release rates and water quality (only required if subdivided or changed from historical usage)
 - e. Livestock management Plan
 - f. Road/dust mitigation
 - g. Fencing

Sec. 16.6.10.16. - Rural Residential Conservation Sub-zoning

The rural residential conservation sub-zoning is intended to allow private property owners to annex large, existing agricultural or open lands into the Town with a restriction on a portion of the property that conserves the land as farmland or open space in perpetuity. As an incentive

to the property owner, the owner will be allowed to develop the unencumbered lands into a greater number of lots with more diverse sizes than the rural residential agriculture sub-zoning.

The following are characteristics of the Ag residential design option:

- (1) Conservation component retained (conservation easement, dedicated open space, agricultural operation).
- (2) Served by domestic water
- (3) Joint access points to and from county roads to reduce driveways where practical
- (5) HOA (required) on developed lands with provisions for management and maintenance of private lots, improvements, common areas, livestock, infrastructure and other elements of the developed areas (HOA not required on the conservation land)
- (6) No interior fencing required (Fencing along public roadways may be required adjacent to residential lots.)
- (7) Density: defined by the following example and based on percentage of open space

EXAMPLE: Minimum initial land size = sixty (60) acres (gross). A minimum of sixty percent (60%) (thirty-six [36] acres) shall be perpetually conserved, and on the remaining land (twenty-four [24] acres), two (2) lots will be allowed. If a farmstead already exists, it can be platted as a third lot. With each additional ten (10) acres of contiguous land, sixty percent (60%) (six [6] acres) shall adjoin the original conserved land, and one (1) additional lot shall be allowed. Once platted and developed, no future plats of the initial land that increase the number of lots or reduce the amount of the conserved land will be allowed.

Examples:

70 acres X 60% = 42 acres conserved and 3 lots on 28 acres

80 acres X 60% = 48 acres conserved and 4 lots on 32 acres

100 acres X 60% = 60 acres conserved and 6 lots on 40 acres

120 acres X 60% = 72 acres conserved and 8 lots on 48 acres

160 acres X 60% = 96 acres conserved and 12 lots on 64 acres

180 acres X 60% = 108 acres conserved and 14 lots on 72 acres

(Any single home or farmstead can be platted as one [1] additional lot.)

Conservation land shall be contiguous and available for large areas of farming or rural open space. Lots may be clustered or scattered. Minimum lot size = three (3) acres. Diversity of lot sizes is encouraged. Any grouping of lots using a shared access and exceeding four (4) lots shall have an internal roadway designed and shall be built to rural residential specifications of the Town. Groups of 2, 3 or 4 lots shall have a hard-surface shared-access pad connected to the perimeter public roadway. Each shared-access pad shall be concrete measuring forty (40) feet' wide x

one hundred (100)' feet long x six (6)" inches thick, with private drives serving individual lots from the shared-access pad. Any shared-access pad shall be owned and maintained by the HOA. Driveways serving individual lots shall be contained within the lot and shall be owned and maintained by the lot owner. Single lot access to the roadways will be discouraged.

(8) Perimeter treatment:

- a. Fencing adjacent to right-of-way shall be addressed in fencing Plan. Criteria and maintenance responsibilities shall be described in the HOA documents.
- b. Road right-of-way: Right-o- way dedication shall adhere to the Severance Transportation Master Plan. Maintenance of public roadways shall be the responsibility of the Town.
- c. Road cross section may be modified at Staff discretion based on proposed number of lots and anticipated traffic. Letter from licensed traffic engineer shall be required in cases in which proposed changes differ from transportation Plan. A minimum dirt road cross section of thirty-two (32) feet will be required adjacent to proposed residential lots for any rural residential conservation development.
- c. Connectivity to adjacent subdivisions or undeveloped lands shall be reviewed on a case-by-case basis.
- d. Landscaping between the fencing (if applicable) or property line of any lot (excluding conservation lots) and the public roadway shall be native, drought-tolerant grasses. Management and maintenance responsibilities of these areas shall be described in the HOA documents.

(9) Management Plans or other HOA documents shall address the following:

- a. Conservation method
- b. Land uses
- c. Roadway connections, including public and adjacent property roads
- d. Private and common land management and maintenance
- e. Stormwater management report, including detention on any lot (if applicable), release rates and water quality
- f. Livestock management Plan (if applicable).
- g. Maintenance of public roads
- h. Fencing
- i. Architectural design review (required) for any improvements, including but not limited to homes, outbuildings, livestock corrals or paddocks, internal or perimeter fencing, play equipment, storage facilities, etc.
- j. Inclusion of Windsor-Severance Fire District as a review agency for any proposed improvements to evaluate emergency access, fire sprinkler requirements or other site and/or building requirements.

(Ord. 2021-08)

Sec. 16.6.10.17. - Parking standards.

The number of required parking spaces shall be based on the requirements Section 16.9.40.

(Ord. 2021-08)

