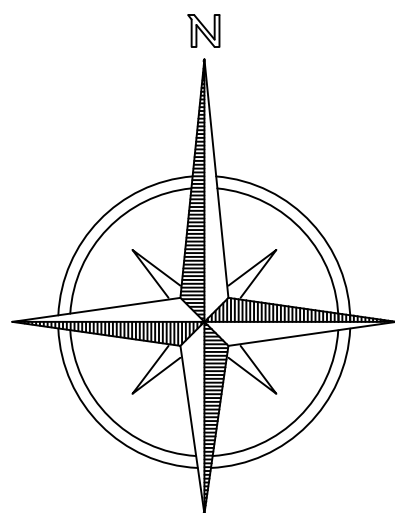


BEING A REPLAT OF LOT 1 JOHNSON SUBDIVISION AND LOT A, RECORDED EXEMPTION No. 0705-35-4 RECX15-0020
SITUATE IN THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 NORTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO



A parcel of land situate in the Southeast Quarter of Section Thirty-five (35), Township Seven North (T.7N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), Town of Severance, County of Weld, State of Colorado, and being more particularly described as follows:

AND

Said parcel contains 500,585 Square Feet or 11.492 Acres more or less by this survey

The undersigned, SEVERANCE LAND, LLC, being the owner of certain lands in the Town of Severance, Weld, County, Colorado, described herein, do hereby subdivide the same into Lots, Blocks, Tracts, Streets and Easements, as shown hereon under the name and style of SEVERANCE STORAGE MINOR SUBDIVISION, and do hereby dedicate to the public forever all streets, alleys and utility easements as indicated hereon. In compliance with the Town of Severance Subdivision Regulations and by contractual agreement, the undersigned shall bear all expenses involved in improvements.

Witness our hands and seals this _____ day of _____, 20____.

By: _____ As: _____

Witness my hand and seal this _____ day of _____, 20____.

STATE OF COLORADO)
COUNTY OF WELD)
The foregoing instrument was acknowledged before me by _____ as _____ this _____ day of _____, 20____.

Witness my Hand and Official Seal.

My commission expires: _____.

By: _____ As: _____

Witness my hand and seal this _____ day of _____, 20____.

STATE OF COLORADO)
COUNTY OF WELD)
The foregoing instrument was acknowledged before me by _____ as _____ this _____ day of _____, 20____.

Witness my Hand and Official Seal.

My commission expires: _____.

Reviewed this _____ day of _____, 20____.

Town Engineer

Reviewed this _____ day of _____, 20_____

Town Planner

This is to certify that the within plat was approved by Resolution No. _____ of the Town of Severance, County of Weld, State of Colorado adopted on the _____ day of _____, 20____, and that the territory therein designated made a part of said Town of Severance and included within the limits and Jurisdiction thereof Severance

Chairperson

Assuming the South line of the Southeast Quarter of Section 35, Township, 7 North, Range 67 West of the 6th P.M., monumented as shown on this drawing, as bearing North 89°03'23" East, being a Grid Bearing of the Colorado State Plane, North Zone, North American Datum 1983/2011, a distance of 2629.72 feet and with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot".

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)

For all information regarding easements, rights-of-way and title of records, Majestic Surveying, LLC relied upon Title Commitment Number XXX, dated XX XX, 20XX, as prepared by XXX to delineate the aforesaid information. This survey does not constitute a title search by Majestic Surveying, LLC to determine ownership or easements of record.

The owner(s) of each lot will maintain any and all grading and approved private drainage improvements or facilities located within their respective lot. The drainage easements dedicated to the Town across such areas are for use, operation and maintenance of any and all storm drains and concrete pans installed within such areas and for access, maintenance and repair services only in the event that the owner(s) of the lot fail to maintain, repair or replace the drainage improvements or facilities. If the owner(s) are required to serve the subdivision or a particular lot. In the event that the owner(s) fail or refuse to perform any required maintenance, the Town shall have the right, but not the obligation, to enter said easement and perform any necessary work, and shall bill the owner(s) for the costs of any maintenance or repair work. In the event the Town is not fully reimbursed for all such costs incurred within 30 days after mailing of the bill, the Town shall have the right to place liens against the property to the full extent of all costs incurred. The Town's acceptance of the drainage easements as shown on this plat shall not obligate the owner(s) to construct, maintain, repair or replace the improvements, nor relieve the owner(s) of any lot(s) of its/their obligation and primary responsibility to construct or maintain any private drainage improvements or facilities required to serve the subdivision or each lot.

The subject property is in flood zone 'X', "areas determined to be outside the 0.2% annual chance of floodplain, areas of 0.2% annual chance and Floodway Areas in Zone AE" per FEMA flood map 08123C1213E effective January 20, 2016.

Reviewed this day of , 20

Poudre Valley REA

Reviewed this _____ day of _____, 20_____


XCEL Energy

Reviewed this day of , 20

Century Link

I, Steven Parks, a Colorado licensed professional land surveyor, do hereby state that this plat of SEVERANCE STORAGE MINOR SUBDIVISION was performed by me or under my personal supervision, and that this plat has been prepared in compliance with all applicable laws of the State of Colorado at the time of this survey and within my control and is accurate to the best of my knowledge, information and belief.

Steven Parks - On Behalf of Majestic Surveying, LLC
Colorado Licensed Professional Land Surveyor #38348



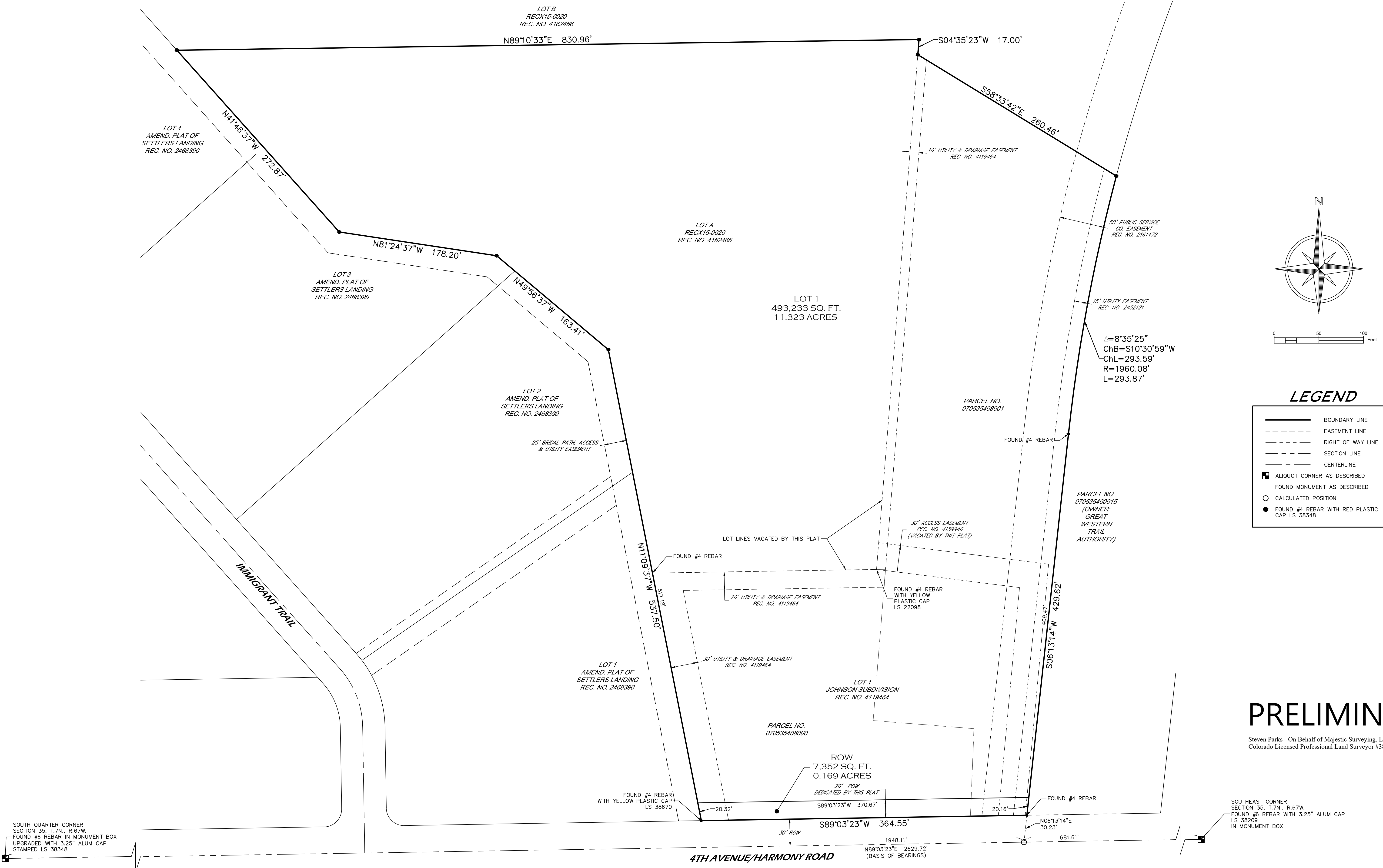
MAJESTIC SURVEYING
MAJESTIC SURVEYING, LLC 1111 DIAMOND VALLEY DRIVE #104, WINDSOR, CO 80550

PROJECT NO: 2022163	PROJECT NAME: SSS	REVISIONS:	DATE:
DATE: 4-13-2022	CLIENT: MORALES	REDLINES	7-13-22
DRAWN BY: SIP	FILE NAME: 2021000		
CHECKED BY: SIP	SCALE: 1" = 50'		

1

SHEET 1 OF 2

SEVERANCE STORAGE MINOR SUBDIVISION




LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- RIGHT OF WAY LINE
- SECTION LINE
- CENTERLINE
- ALIQUOT CORNER AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- CALCULATED POSITION
- FOUND #4 REBAR WITH RED PLASTIC CAP LS 38348

PRELIMINARY
Steven Parks - On Behalf of Majestic Surveying, LLC
Colorado Licensed Professional Land Surveyor #38348

SOUTHEAST CORNER
SECTION 35, T.7N., R.67W.
FOUND #6 REBAR WITH 3.25" ALUM CAP
LS 38209
IN MONUMENT BOX

NOTICE
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)



MAJESTIC SURVEYING
MAJESTIC SURVEYING, LLC 1111 DIAMOND VALLEY DRIVE #104, WINDSOR, CO 80550

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SHEET 2 OF 2