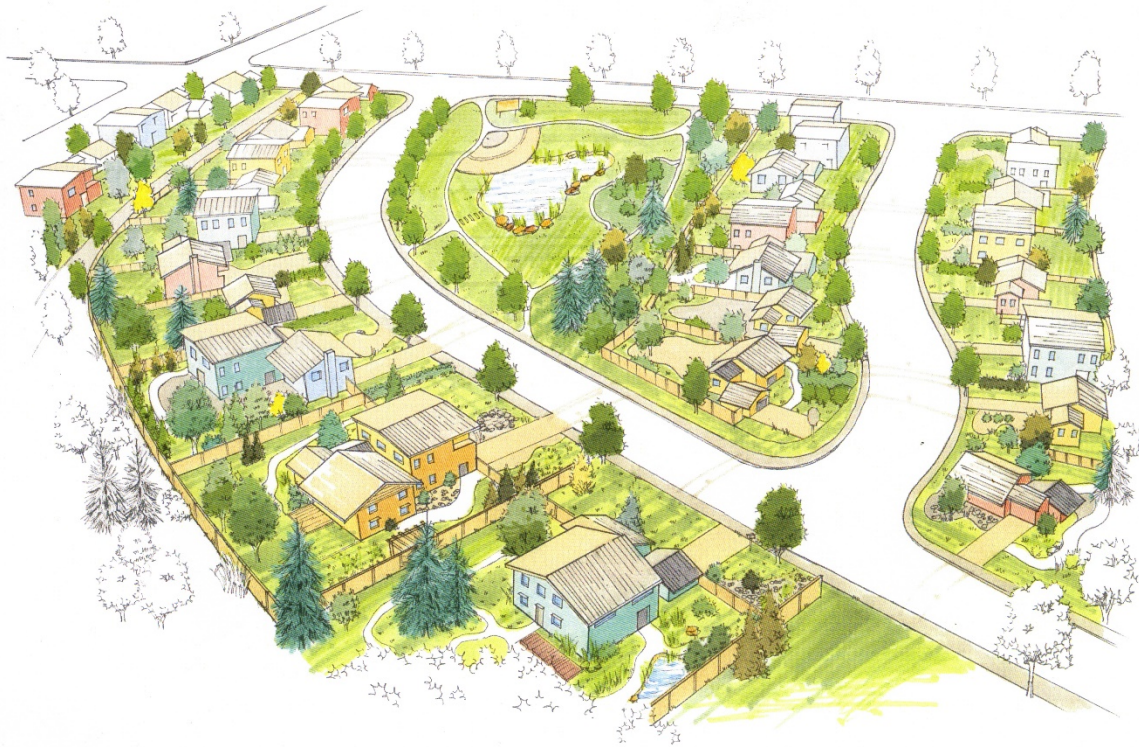


Division 2 - Suburban Perimeter



Sec. 16.6.20.1. - Intent.

- (a) The suburban perimeter residential land use category has a predominance of lower density housing that has access to public water, sewer, streets and open spaces. This district is meant for residential homes and excludes large industries and other large intense uses. Home businesses, civic organizations and some types of commercial and agricultural uses are allowed but will be limited in size and density. The main purpose of this district is to meet a wide range of housing choices, and to provide neighborhoods that invite walking to gathering places, services and conveniences that are integrated into the rest of the community by a pattern of streets, blocks and other linkages.
- (b) The Comprehensive Plan can be fulfilled by encouraging creativity. For example, new neighborhoods are typically designed with meandering streets with a diversity of product. Neighborhood edges adjacent to major roadways include landscaping, meandering pathways and attractive entry features. Pedestrian connections to the Severance Greenway are encouraged as a part of the roadway system or in greenbelt corridors. Additionally, the suburban perimeter also acts as a transitional land use between the lower density rural residential land uses and the more urbanized Town core.

(Ord. 2021-08)

Sec. 16.6.20.2. - Density.

(a) Generally

- (1) Gross minimum density: two (2) dwelling units per acre
- (2) Maximum density: determined by market
- (3) Minimum lot size: six thousand (6,000) square feet (see typical single-family lot layout)
- (4) Building height not to exceed two (2) stories without additional review

(b) Floorplan Diversity

Development Plans shall include a diversity of lot sizes and floorplans. On projects of one hundred fifty (150) acres or less, a minimum of four (4) lot sizes is required. On projects of one hundred fifty (150) acres or more, a minimum of six (6) lot sizes is required. This may be met through additional housing types outlined in the following Section C.

(c) Product Diversity

A mix of permitted housing types shall be included in any individual development Plan, as defined in section 16.6.20.2 (2), to the extent reasonably feasible, depending on the size of the parcel. In order to promote such variety, the following minimum standards shall be met:

- (1) A minimum of housing types as defined in 16.2.20 (2) is required on any project development Plan as follows:
 - a. a minimum of two (2) housing types is required on any project development Plan containing at least fifty (50) acres and less than one hundred and fifty (150) acres, including such Plans that are part of a phased overall development
 - b. a minimum of three (3) housing types is required on any project development Plan containing one hundred and fifty (150) acres or more.
- (2) Housing types
 - a. Paired housing
 - b. Alley loads
 - c. Attached product
 - d. Patio homes
 - e. Multi-family by additional review

(c) Open space/parks and connectivity requirements (See section 16.12.250)

(Ord. 2021-08)

Sec. 16.6.20.3. – Land Uses

(a) Uses by right:

- (1) Residential uses
- (2) Accessory dwelling (limited)
- (3) Home-based business (Type I)
- (4) Neighborhood parks

- (5) Schools
- (6) Outdoor recreation

(b) Encouraged Uses

- (1) Bed and breakfast establishments
- (2) Churches
- (3) Childcare centers
- (4) Adult day/respice centers
- (5) Long-term care facilities
- (6) Office, financial, medical services and clinics
- (7) Neighborhood shopping centers
- (8) Golf courses

(c) Uses requiring additional review:

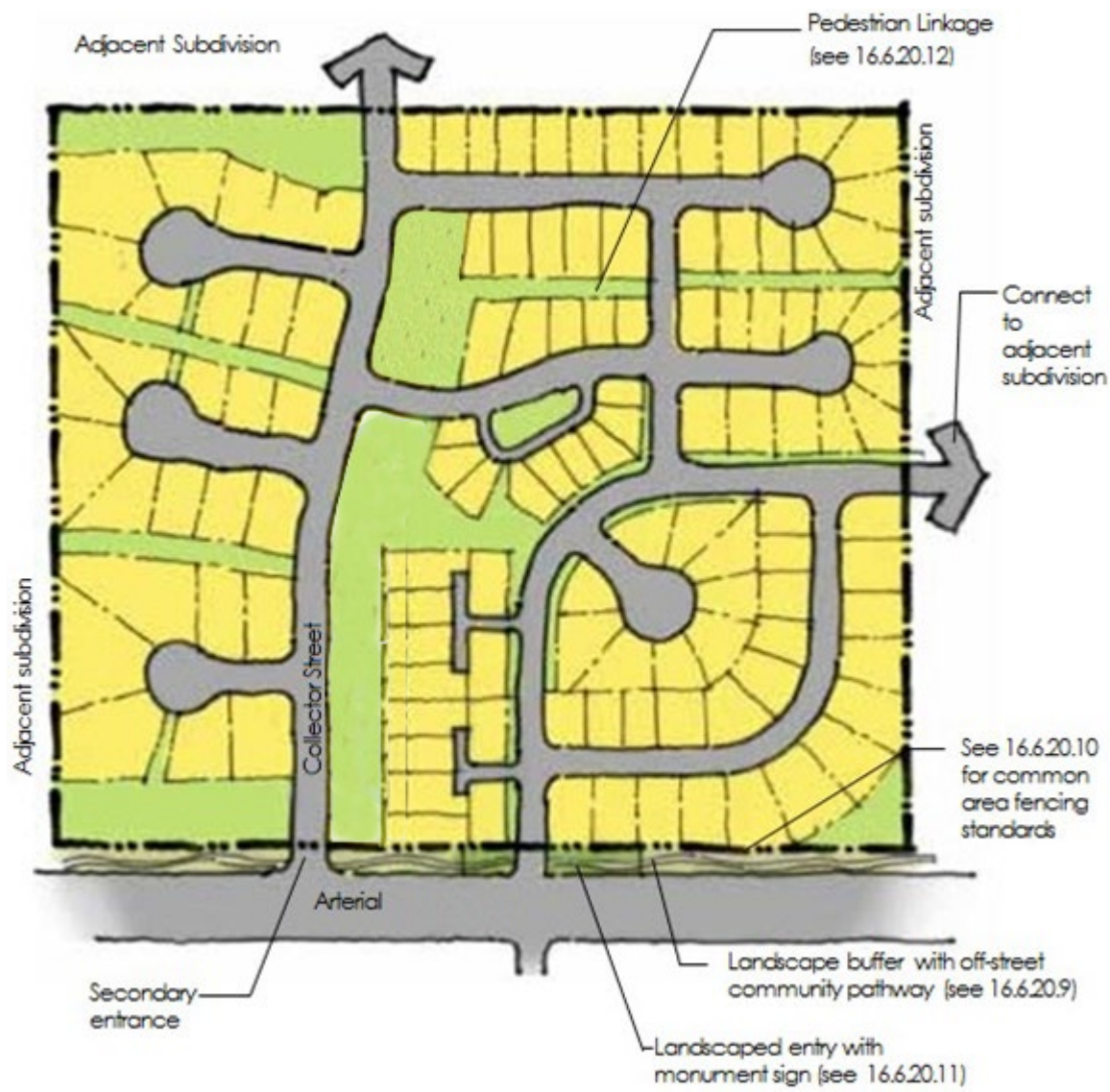
- (1) Home-based business (Type II) - See Article 9, Supplemental Regulations
- (2) Workshops/small custom industry

Note: Land uses not identified may be considered with additional review to be determined by Planning Staff at pre-application meeting. See Section 16.3.4.3 of this chapter.

(Ord. 2021-08)

Sec. 16.6.20.6. - Standards.

- (a) Typical subdivision layout. Each subdivision proposal should address the appropriate elements of the Comprehensive Plan, as suggested by the following. Subdivisions in the suburban perimeter shall be designed with an internal urban roadway system to serve lots within the subdivision. Streets shall be designed with a curved, linear pattern; grid streets should be avoided. Each lot shall have frontage onto a roadway. The edges adjacent to major roadways shall be landscaped and shall provide community pathways for pedestrian linkages. Landscape buffers adjacent to major roadways should vary in width, and perimeter fencing shall be visually interesting. The main entrance to the subdivision typically will have appropriately scaled monument sign and landscaping. Open space, drainage corridors and roadways within the subdivision can provide opportunities for pedestrian linkage to adjacent subdivisions, the Town Core and the Severance Greenway.
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Note: Roadway Plans must identify collector roadways and adhere to requirements set forth in Transportation Master Plan.

1. The spacing and frequency of connector streets are to be determined with each application. Connector streets shall connect neighborhoods to perimeter arterial streets and adjacent properties. Please refer to the Severance Transportation Plan.
2. Limited driveway access and parking to connector streets may be allowed in specific locations. Traffic study may determine the need for a higher-volume street design.
3. Internal street design should incorporate the following whenever possible:
 - a. Three-way intersections

- b. The use of curves (non-grid) or modified grid
 - c. View corridors
 - d. Focal points
- (b) Typical single-family lot layout. Each lot in the suburban perimeter will identify a buildable area (building envelope) and setbacks in order to achieve an appropriate building coverage/landscape ratio. The minimum lot size shall be six thousand (6,000) square feet, and diversity of lot sizes is highly encouraged. An overall fence Plan shall be reviewed by the Town and administered by the HOA or Metro District.

	Principal Residence	Accessory Building
Front setback	20'	25'
Side setback	7.5'	5'
Rear setback	15'	5'
Street Side Setback	15'	15'

For uses other than single family, setbacks are case by case and at the discretion of the Planning Commission and Board of Trustees. Setbacks will be considered and approved through the platting process and indicated on the recorded plat.

(Ord. 2021-08; Ord. 2013-04 §2)

Sec. 16.6.20.7. - Street standards – Refer to Severance Transportation Master Plan

(Ord. 2021-08; Ord. 2012-04 §1; Ord. 2013-04 §2)

Sec. 16.6.20.8. – HOA/Metro documents and architectural standards.

- (a) Review of architecture shall be by developer's covenants, design guidelines, homeowner's association or Metro District. Building permit applications must be accompanied by a letter from said entity stating architectural approval.
- (b) Covenants will be recorded with the subdivision plat.
- (c) A management Plan for common areas shall be submitted to the Town for review.

(Ord. 2021-08)

Sec. 16.6.20.9. - Edges/landscape.

The perimeter treatment adjacent to roadways should include a landscape buffer that of varying width with a minimum width of twenty (20) feet. A meandering community pathway that is a minimum of ten (10) feet wide shall be located within the buffer. (See Section 16.6.20.7, Street Standards.) The use of shade trees is encouraged along greenbelt community pathways.

(Ord. 2021-08)

Sec. 16.6.20.10. - Fencing.

- (a) Lots adjoining greenbelts shall have common area fencing. Common area fencing shall be "articulated" with fence columns, fence details, varying depths of greenbelts, etc.
- (b) All subdivisions shall submit master fence Plans that will include fence locations, details and criteria, including:
 - (1) Perimeter fence/common area fencing, all perimeter fencing shall be wood unless otherwise approved by Board
 - (2) Encourage fence height is six (6) feet. Maximum fence height eight [8] feet along arterial and connector streets by variance.
 - (3) Fence amenities/columns/walls
 - (4) Rear and side yard fencing (private)
 - (5) Side and front-yard fencing visible from right-of-way/greenbelt/common areas
 - (6) Master fence Plan, which shall show where in a subdivision each type of fence shall be located
 - (7) Terminations of common area fencing (encouraged to have a column/fence amenity)
 - (8) Fencing ornamented with details that shall be uniform throughout the development (standard dog-eared privacy fence not allowed)
 - (9) All common area fencing and private fencing that is visible from right-of-way/greenbelt/common areas shall have a common fence color, as identified on the master fence Plan.



(Ord. 2021-08)

Sec. 16.6.20.11. - Entries and signage.

Entries shall contain the following features:

- (1) Located adjacent to arterial/connector street intersections or primary access to the project

- (2) Appropriately scaled monument/signage at primary access to identify the project
- (3) Adequate landscaping on both sides of primary project access to create an enhanced entry experience
- (4) Access to subdivisions that is limited to main entry roads adjoining arterial or collector roads

The number accesses may vary, depending on size and location of development and results from traffic impact study. Driveways shall not have access directly onto adjacent county roads. The entries to the development should provide a focal point with signage and landscaping.



(Ord. 2021-08)

Sec. 16.6.20.12. - Connectivity.

Pedestrian connectivity within and adjacent to the subdivision is required. Each development shall provide a combination of trails and sidewalks within the subdivision to provide connections to the Severance Greenway and trail corridor. Off-street pedestrian linkage can be accomplished by the use of open greenway/corridors with meandering trails or paths. Refer to Typical Subdivision Layout for example. Each subdivision adjacent to arterial streets must contain a perimeter landscape buffer with an off-street community path that is a minimum of six (6) feet wide. Where a subdivision either borders or includes portions of the Great Western Trail the developer will be required to pave the trail with a minimum 10' concrete cross section for the entirety of the trail within or adjacent to the property. Sidewalks adjacent to all school sites and parks require a minimum width of five (5) feet or wider.



(Ord. 2021-08)

Sec. 16.6.20.13. - Lighting.

All lighting within the Suburban Perimeter Zoning District shall comply with the Dark Skies Ordinance Lighting Zone 2 requirements.

(Ord. 2021-08)

Sec. 16.6.20.14. - Parking standards.

The number of required parking spaces shall be based on the requirements in Section 16.9.40.

